

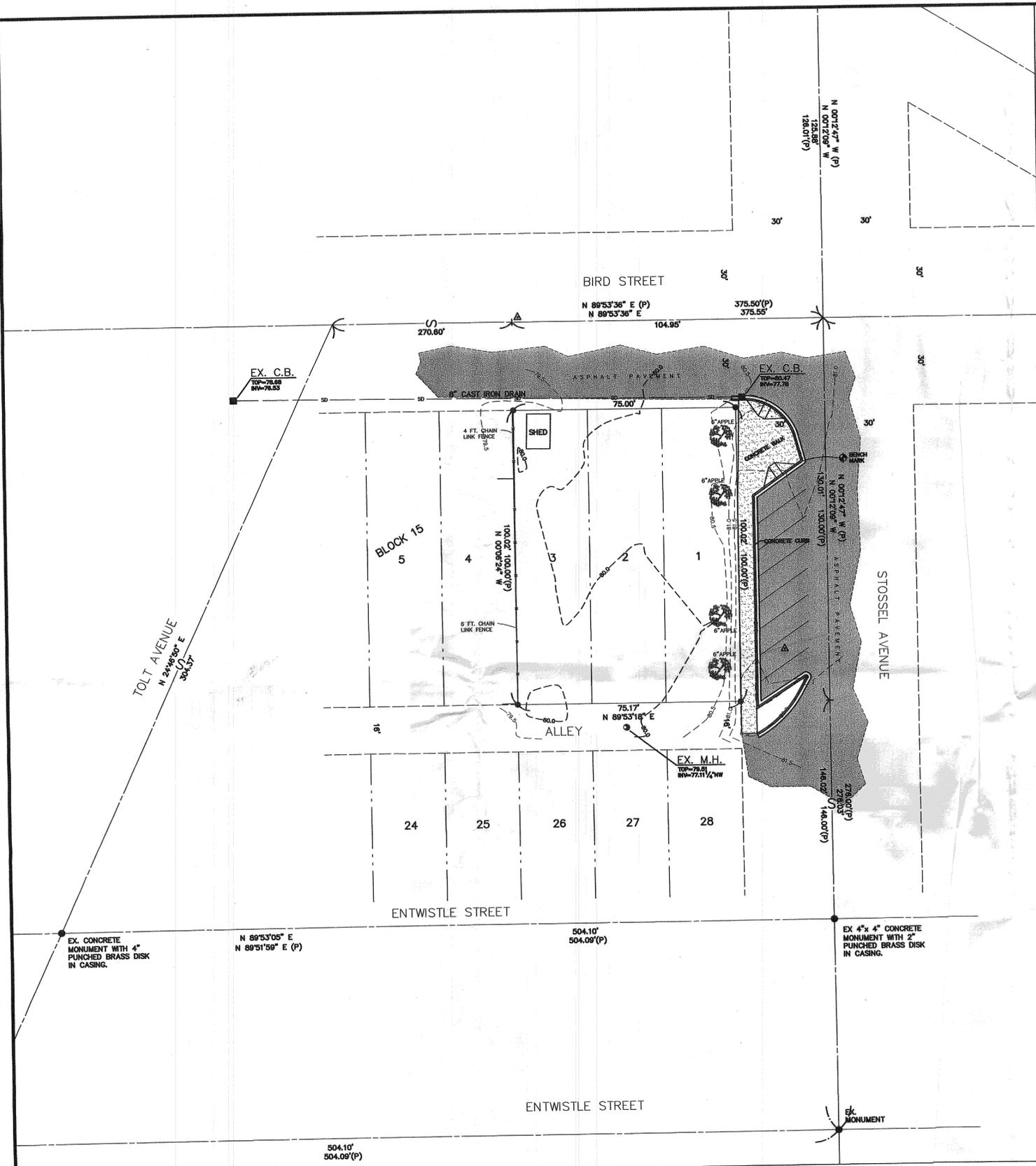
CARNATION FARMER'S MARKET

CITY OF CARNATION

IN NW1/4, SE1/4, SECTION 16, T.25 N., R.7 E., W.M.
KING COUNTY, WASHINGTON

PROJECT INFORMATION:

OWNER: CITY OF CARNATION
 PARCEL#: 8658301990
 ENGINEER: CASEY ENGINEERING
 SITE AREA: 7,500SF (.17AC)
 IMPERVIOUS AREA: 2,000SF
 % IMPERVIOUS: 27%



SHEET INDEX:

SHEET	DESCRIPTION
1	EXISTING CONDITIONS & COVER SHEET
2	PROPOSED SITE PLAN
3	STORM DRAINAGE PLAN
3	GRADING & TESC
4	NOTES & DETAILS

SITE SURVEY BY:

LSA Lovell-Sauerland & Associates, Inc.
 Engineers/Surveyors/Planners/Development Consultants
 19400 33rd Avenue W., Suite 200 • Lynnwood, WA 98036 • (425)775-1591 • (425)672-7998 fax

LEGEND

- EXISTING MONUMENT AS DESCRIBED
- SET 1/2" X 24" REBAR & CAP STAMPED "LSA 22969"
- (P) COURSE AND/OR DISTANCE PER PLAT

BASIS OF BEARINGS

THE CALCULATED CENTERLINE BEARING OF ENTWISTLE STREET AS MONUMENTED BETWEEN TOLT AVENUE AND STOSSEL AVENUE PER PLAT OF SURVEY RECORDED UNDER RECORDING NUMBER 9711069008.

LEGAL DESCRIPTION

LOTS 1, 2 AND 3, BLOCK 15, TOLT TOWNSITE COMPANY PLAT OF TOLT, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 20 OF PLATS, PAGE 43, KING COUNTY, WASHINGTON.
 SUBJECT TO EASEMENTS, RESTRICTIONS AND RESERVATIONS OF RECORD.

BENCH MARK

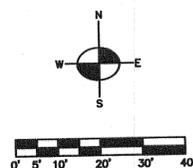
W.S.D.O.T. MONUMENT 1238 LOCATED ON THE SOUTHWEST CORNER OF A LOADING DOCK AT THE CARNATION ELEMENTARY SCHOOL.

ELEVATION : 84.60

SITE BENCH MARK : TOP OF CURB AS SHOWN HEREON

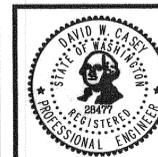
ELEVATION : 81.38

EXISTING CONDITION



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NOTE:
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CASEY ENGINEERING
 P.O. BOX 1255 FALL CITY, WA 98024-1255
 (206) 227-8187

CITY OF CARNATION FILE #

CITY SET
 CITY OF CARNATION
 BUILDING DEPARTMENT
APPROVED PLANS

Permit No.: BPD10-0029
 Date: 1/23/11
 Job Address:
 Approved By: [Signature]



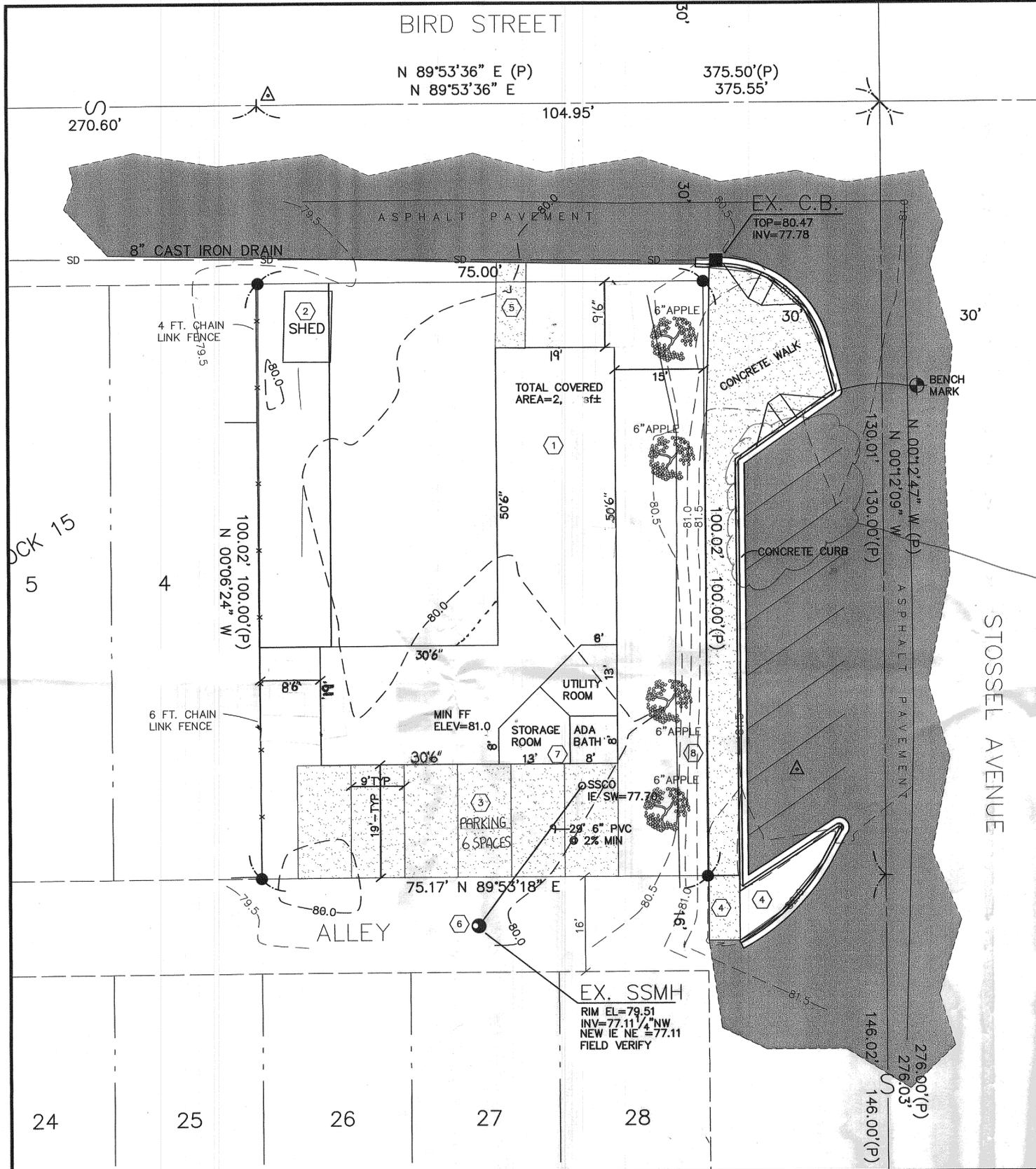
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CLIENT	SNOQUALMIE VALLEY TILTH
PROJECT	CARNATION FARMER'S MARKET COVER SHEET & EXISTING CONDITIONS
DRAWN BY	D. CASEY
SCALE	AS NOTED
DATE	MARCH 2009
SHEET	1 OF 5

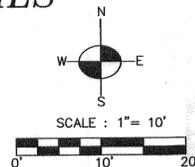
CARNATION FARMER'S MARKET

CITY OF CARNATION

IN NW1/4, SE1/4, SECTION 16, T.25 N., R.7 E., W.M.
KING COUNTY, WASHINGTON



PROPOSED SITE PLAN & UTILITIES



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CALL-OUTS

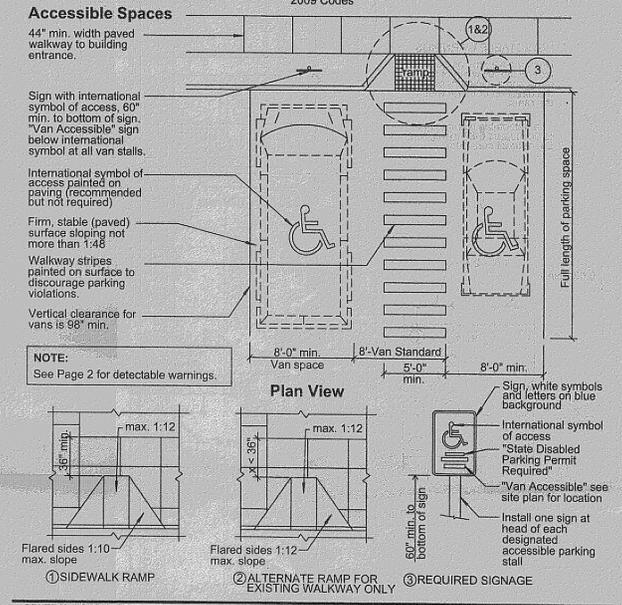
- 1 PROPOSED COMMUNITY/FARMER'S MARKET COVERED AREA. SEE BUILDING PERMIT PLANS FOR SPECIFIC DESIGN INFORMATION
- 2 REMOVE EXISTING SHED
- 3 PROVIDE GRASS/CRETE AREA FOR 6 PARKING STALLS. STALLS TO BE 9' WIDE AND 19' DEEP. CHALK STRIPING OR OTHER APPROPRIATE STRIPING TO BE PROVIDED AS APPROVED BY THE CITY.
- 4 EXISTING PLANTER AREA AND SIDEWALK TO BE REMOVED TO PROVIDE VEHICULAR ACCESS TO ALLEY. WORK TO BE DONE BY OTHERS.
- 5 PROVIDE 5' WIDE GRASS/CRETE SURFACE ADA ACCESS FROM BIRD STREET TO MARKET AREA
- 6 SS SERVICE FROM EXISTING SSMH TO PROPOSED STRUCTURE. CONTRACTOR TO OBTAIN SIDE SEWER PERMIT FROM CITY PRIOR TO INSTALLATION. SS SIZE, INVERT, LOCATION AND INSTALLATION REQUIREMENTS TO BE DETERMINED AT TIME OF BUILDING PERMIT ISSUANCE.
- 7 PROPOSED LOCATION OF 200AMP METER BASE AND SERVICE BOX. CONTRACTOR TO COORDINATE WITH PSE AND OBTAIN PERMITS FROM L&I PRIOR TO COMMENCING INSTALLATION.
- 8 PROPOSED LOCATION OF WATER METER TO SERVE THE SITE. WATER METER SIZE AND EXACT LOCATION TO BE DETERMINED PRIOR TO ISSUANCE OF BUILDING PERMIT. CONTRACTOR TO OBTAIN APPROPRIATE PERMITS PRIOR TO INSTALLATION.

NOTES:

1. NO SITE GRADING IS PROPOSED FOR THIS PROJECT.
2. CITY TO PROVIDE ONE ADA COMPLIANT PARKING SPACE TO SERVE THE SITE.

SEE ATTACHMENT FOR ACCESSIBLE PARKING/CURB RAMP/SIGNAGE

Bellevue	Bothell	Burien	Duvall	Gig Harbor	Issaquah	Kenmore	Kirkland	Mercer Island
Mill Creek	Renton	Sanmamish	SeaTac	Snohomish County	Snoqualmie	Woodinville	CONSTRUCTION TIP SHEET 9 Accessible Parking Spaces July 2010	



GENERAL INFORMATION:
CODE REFERENCES:
• Chapter 11 of the 2009 IBC
• Appendix CH, E, Sections E101-E107
• ICC/ANSI A117.1 - 2003 as amended in IBC 1101.2

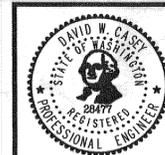
Accessible Spaces -- IBC Table 1106.1

Total Parking Spaces in a Lot or Garage	Minimum Required Number of Accessible Spaces
1 - 25	1
26 - 50	2
51 - 75	3
76 - 100	4
101 - 150	5
151 - 200	6
201 - 300	7
301 - 400	8
401 - 500	9
501 - 1000	2% of total spaces
More than 1000	20 spaces plus 1 space for every 100 spaces, or fraction thereof, over 1000
1106.5 Van Parking Spaces	One of every six accessible parking spaces, or the fraction thereof must be designed to be accessible to vans.

1106.2 Groups R-2 and R-3
Two percent, but not less than one, of each type of parking space provided for occupancies in Groups R-2 and R-3, which are required to have Accessible Type A or Type B dwelling or sleeping units, must be accessible. Where parking is provided within or beneath a building, accessible parking spaces must also be provided within or beneath the building.

1106.3 Outpatient medical care facilities
For Group I-1 and I-2 occupancies providing outpatient medical care facilities, 10 percent, but not less than one, of the parking spaces provided accessory to such occupancies must be accessible.

1106.4 Inpatient and outpatient medical care facilities
For Group I-1 and I-2 units and facilities specializing in the treatment of persons with mobility impairments on either an inpatient or outpatient basis, 20 percent, but not less than one, of the parking spaces provided accessory to such units and facilities must be accessible.



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CLIENT: SNOQUALMIE VALLEY TILTH

PROJECT: CARNATION FARMER'S MARKET
SITE PLAN & PROPOSED UTILITIES

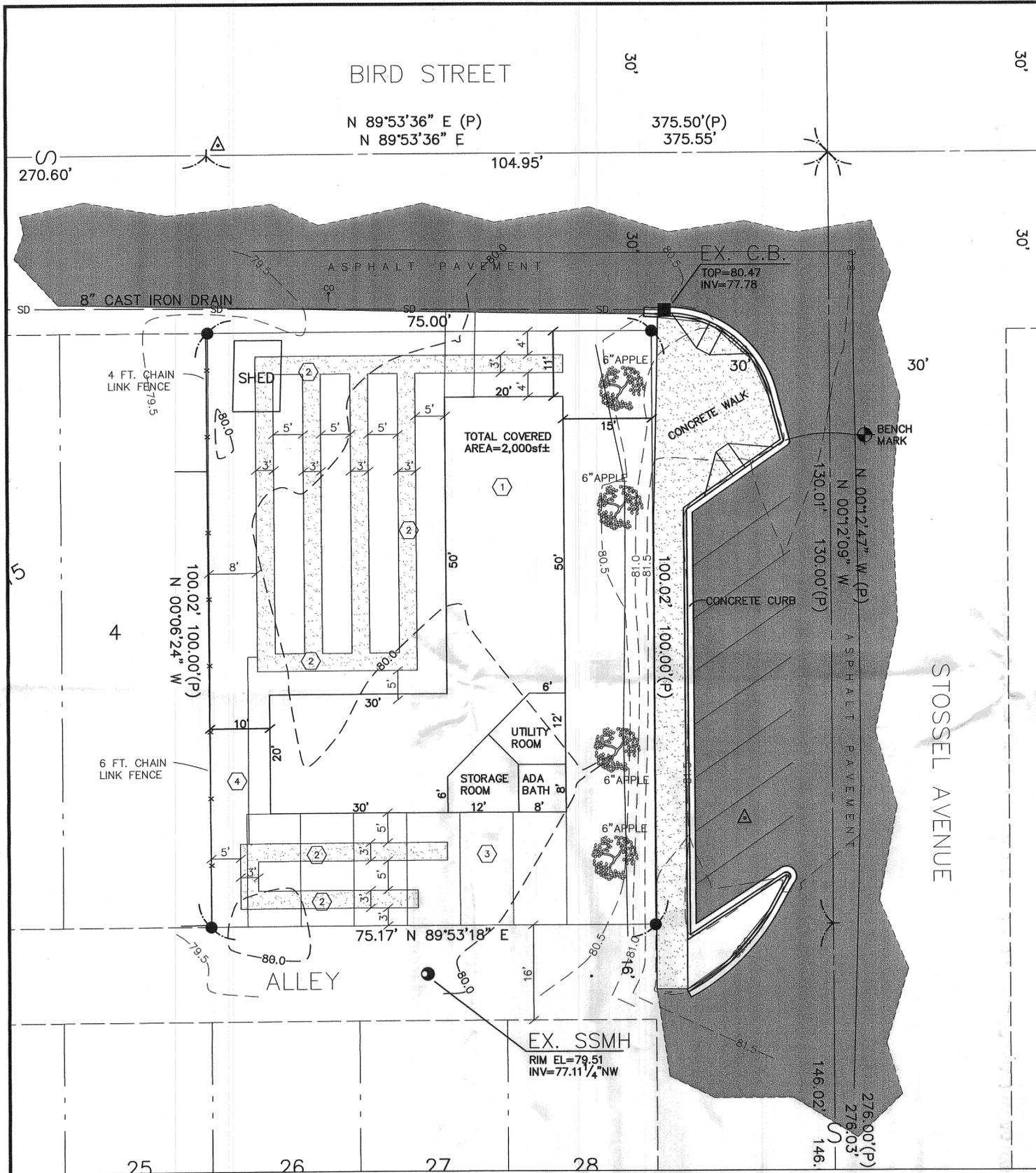
DRAWN BY: D.CASEY SCALE: AS NOTED DRAWING: FARMER'S MARKET DESIGN 9-7-10LMS SHEET 2 OF 5
APPROVED: DATE: MARCH 2009 JOB#



CARNATION FARMER'S MARKET

CITY OF CARNATION

IN NW1/4, SE1/4, SECTION 16, T.25 N., R.7 E., W.M.
KING COUNTY, WASHINGTON



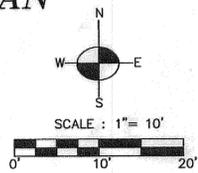
CALL-OUTS

- ① PROPOSED COMMUNITY/FARMER'S MARKET COVERED AREA. SEE BUILDING PERMIT PLANS FOR SPECIFIC DESIGN INFORMATION.
- ② INFILTRATION AREAS. TRENCHES TO BE 3' WIDE WITH A 5' SEPARATION BETWEEN TRENCHES. TOTAL TRENCH LENGTH TO BE MINIMUM OF 326'. TRENCH LENGTH AS SHOWN ON THIS PLAN SHEET IS 342'.
SEE DETAIL SHEET 5
- ③ PROVIDE 6 PARKING STALLS. STALLS TO BE 9' WIDE AND 19' DEEP.
- ④ PROVIDE 6" RIDGID PVC CONNENCTION FROM SOUTH INFILTRATION TRENCHES TO NORTH INFILTRATION SYSTEM TO PROVIDE EQUILIBRIUM OVERFLOW CONDITION.

NOTES:

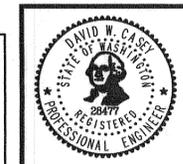
1. NO SITE GRADING IS PROPOSED FOR THIS PROJECT.
2. ROOF DOWNSPOUT CONNECTIONS TO INFILTRATION SYSTEM TO BE DETERMINED SUBSEQUENT TO BUILDING PERMIT ISSUANCE TO ENSURE THAT FOOF RUNOFF IS DISTRIBUTED EQUALLY INTO THE INFILTRATION SYSTEM BASED UPON THE FOOF DESIGN AND DOWNSPOUT LOCATIONS.

RECEIVED



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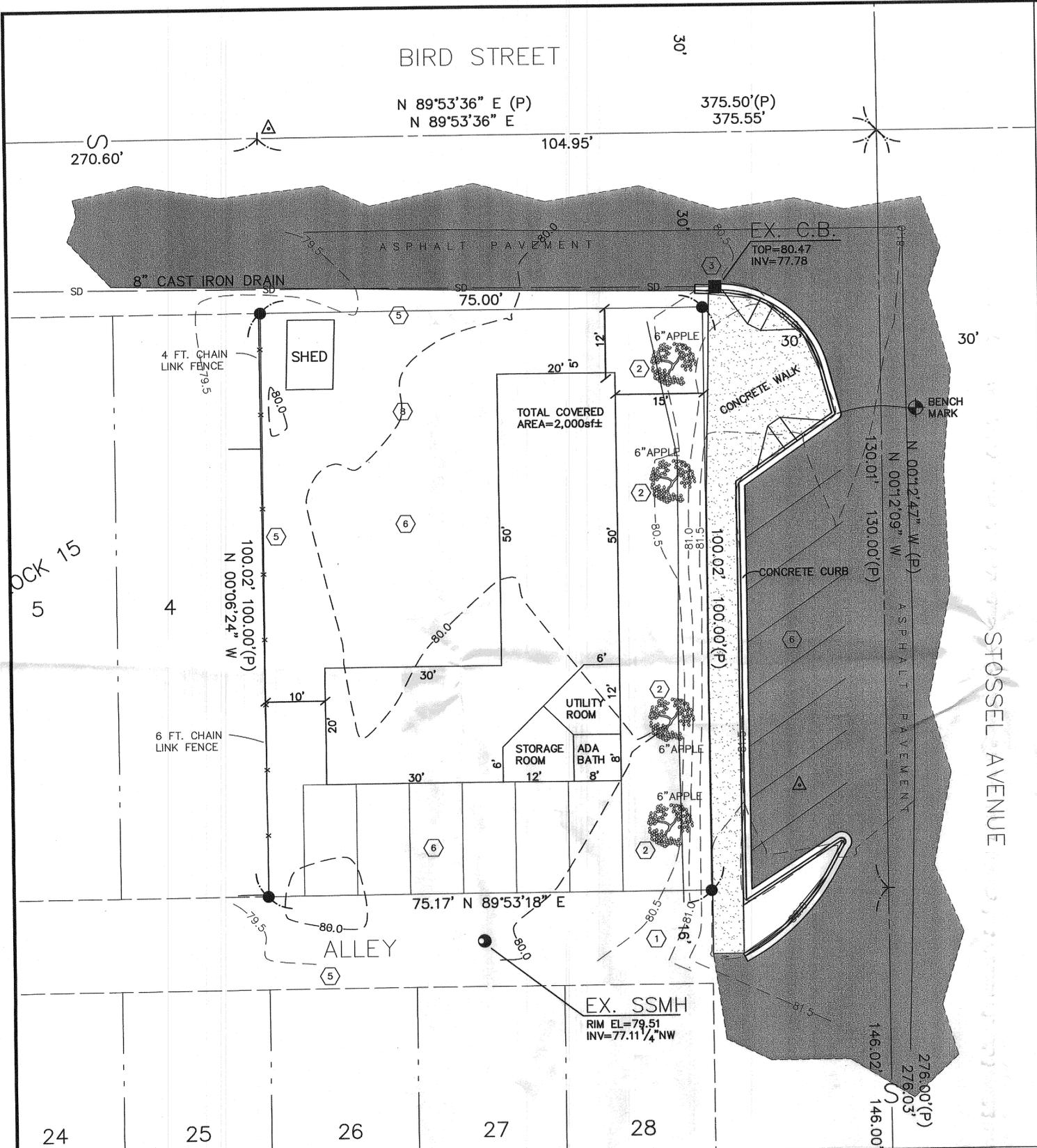
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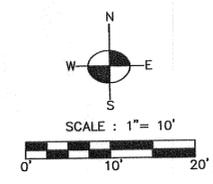
CLIENT	SNOQUALMIE VALLEY TILTH		
PROJECT	CARNATION FARMER'S MARKET STORM DRAINAGE		
DRAWN BY	D.CASEY	SCALE	AS NOTED
APPROVED		DATE	MARCH 2009
		DRAWING	FARMERS MARKET DESIGN 0-7-10.DWG
		SHEET	3
		OF	5

CARNATION FARMER'S MARKET

IN NW1/4, SE1/4, SECTION 16, T.25 N., R.7 E., W.M.
KING COUNTY, WASHINGTON



TESC PLAN



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CALL-OUTS

- 1 PROVIDE STABILIZED CONSTRUCTION ENTRANCE AS PER DETAIL THIS SHEET.
- 2 PROVIDE TREE PROTECTION FENCING PER CITY OF CARNATION STANDARDS
- 3 PROVIDE CB PROTECTION IF ACTIVITIES WILL RESULT IN SEDIMENT LADEN RUNOFF ENTERING BIRD STREET
- 4 PROVIDE SILT FENCING AT ANY LOCATION AS DIRECTED BY CITY INSPECTOR - SEE DETAIL THIS SHEET
- 5 CLEARING LIMITS TO EDGE OF PROPERTY LINE, (TYP.)
- 6 PROPOSED CONSTRUCTION STAGING AREAS.
- 7 CONSTRUCTION ENTRANCE LOCATION; EXIST. PAVEMENT MAY BE USED IN LIEU OF "STABILIZED CONSTRUCTION ENTRANCE" DETAIL THIS SHEET.
- 8 EXISTING CONTOURS - TYP

ESC STANDARD NOTES:

APPROVAL OF THIS EROSION/SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G. SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).

THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND VEGETATION/LANDSCAPING IS ESTABLISHED.

THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE APPLICANT/CONTRACTOR FOR THE DURATION OF CONSTRUCTION.

THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO INSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT ENTER THE DRAINAGE SYSTEM, ROADWAYS, OR VIOLATE APPLICABLE WATER STANDARDS.

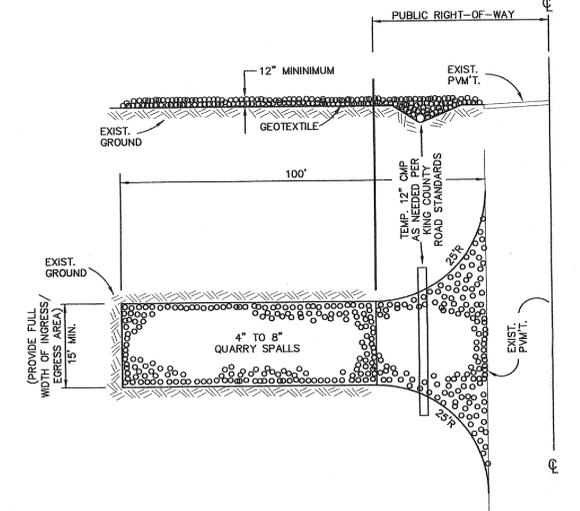
THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DO NOT LEAVE THE SITE.

THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT/CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING.

THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN THE 48 HOURS FOLLOWING A MAJOR STORM EVENT.

AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A TRAPPED CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT-LADEN WATER INTO THE DOWNSTREAM SYSTEM.

STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.



NOTE:
DRIVEWAYS SHALL BE PAVED TO THE EDGE OF R.O.W. PRIOR TO INSTALLATION OF THE CONSTRUCTION ENTRANCE TO AVOID DAMAGING OF THE ROADWAY.
IT IS RECOMMENDED THAT THE ENTRANCE BE CROWNED SO THAT RUNOFF DRAINS OFF THE PAD.

STABILIZED CONSTRUCTION ENTRANCE

N.T.S.

- MAINTENANCE STANDARDS:
1. QUARRY SPALLS (OR HOG FUEL) SHALL BE ADDED IF THE PAD IS NO LONGER IN ACCORDANCE WITH THE SPECIFICATIONS.
 2. IF THE ENTRANCE IS NOT PREVENTING SEDIMENT FROM BEING TRACKED ONTO PAVEMENT, THEN ALTERNATIVE MEASURES TO KEEP THE STREETS FREE OF SEDIMENT SHALL BE USED. THIS MAY INCLUDE STREET SWEEPING, AN INCREASE IN THE DIMENSIONS OF THE ENTRANCE, OR THE INSTALLATION OF A WHEEL WASH. IF WASHING IS USED, IT SHALL BE DONE ON AN AREA COVERED WITH CRUSHED ROCK, AND WASH WATER SHALL DRAIN TO A SEDIMENT TRAP OR POND.
 3. ANY SEDIMENT THAT IS TRACKED ONTO PAVEMENT SHALL BE REMOVED IMMEDIATELY BY SWEEPING. THE SEDIMENT COLLECTED BY SWEEPING SHALL BE REMOVED OR STABILIZED ON SITE. THE PAVEMENT SHALL NOT BE CLEANED BY WASHING DOWN THE STREET, EXCEPT WHEN SWEEPING IS INEFFECTIVE AND THERE IS A THREAT TO PUBLIC SAFETY. IF IT IS NECESSARY TO WASH THE STREETS, THE CONSTRUCTION OF A SMALL SUMP SHALL BE CONSIDERED. THE SEDIMENT WOULD THEN BE WASHED INTO THE SUMP.
 4. ANY QUARRY SPALLS THAT ARE LOOSEENED FROM THE PAD AND END UP ON THE ROADWAY SHALL BE REMOVED IMMEDIATELY.
 5. IF VEHICLES ARE ENTERING OR EXITING THE SITE AT POINTS OTHER THAN THE CONSTRUCTION ENTRANCE(S), FENCING (SEE BMP'S C103 AND C104, C.O.T. S.W.M.M., VOLUME 3, APPENDIX "C") SHALL BE INSTALLED TO CONTROL TRAFFIC.

RECOMMENDED CONSTRUCTION SEQUENCE

- 1) PRE-CONSTRUCTION MEETING BETWEEN CITY, CONTRACTOR & ENGINEER/ARCHITECT /DESIGNERS ETC.
- 2) LOCATE ALL UTILITIES. FIELD VERIFY INVERT OF EXISTING SS STUB.
- 3) DECOMMISSION EXISTING SEPTIC DRAINFIELD IN ACCORDANCE WITH CITY STANDARDS.
- 4) INSTALL CATCH BASIN PROTECTION AT EXISTING PERIMETER CB'S AS NEEDED.
- 5) INSTALL TREE PROTECTION MEASURES AS REQUIRED BY THE CITY.
- 6) CONSTRUCT BUILDING FOUNDATION SLAB FOR STORAGE, UTILITY & ADA BATH AREA
- 7) INSTALL UTILITY EXTENSIONS I.E. WATER, SS STUB, POWER.
- 8) CONSTRUCT PROPOSED MARKET STRUCTURE PER APPROVED BUILDING PERMIT.
- 9) INSTALL STORMWATER INFILTRATION SYSTEM.
- 10) INSTALL GRASS-CRETE PARKING AREA AT SOUTHERN END OF STRUCTURE.
- 11) MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH CITY OF CARNATION STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.
- 12) COVER ALL AREAS THAT WILL BE UNWORKED FOR MORE THAN SEVEN DAYS DURING THE DRY SEASON OR TWO DAYS DURING THE WET SEASON WITH STRAW, WOOD FIBER MULCH, COMPOST, PLASTIC SHEETING OR EQUIVALENT IF REQUIRED BY CITY INSPECTOR.
- 13) STABILIZE ALL AREAS THAT REACH FINAL GRADE.
- 14) UPON COMPLETION OF THE PROJECT, ALL DISTURBED AREAS MUST BE STABILIZED AND BMP'S REMOVED IF APPROPRIATE.



REV. NO.	DATE	DESCRIPTION	APPROVED

CLIENT	SNOQUALMIE VALLEY TILTH		
PROJECT	CARNATION FARMER'S MARKET GRADING, TESC PLAN, NOTES, & DETAILS		
DRAWN BY	D. CASEY	SCALE	AS NOTED
APPROVED		DATE	MARCH 2009
SHEET	4	OF	5



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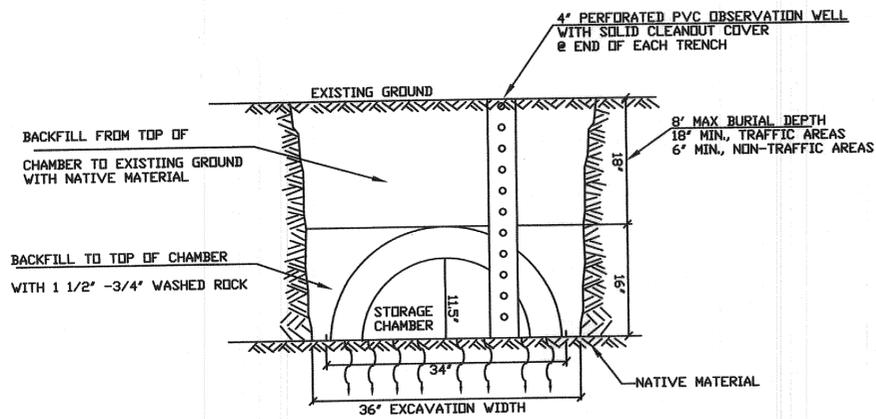
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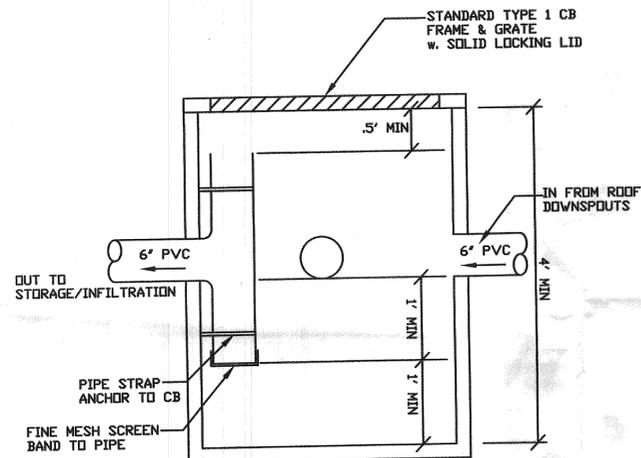
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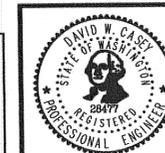
QUICK4 HIGH CAPACITY TRENCH DETAIL



CB TYPE 1 - DEBRIS CONTROL
w. OIL-WATER SEPARATOR

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CLIENT: SNOQUALMIE VALLEY TILTH

PROJECT: CARNATION FARMER'S MARKET NOTES AND DETAILS

DRAWN BY: D.CASEY SCALE: AS NOTED DRAWING: FARMER'S MARKET DESIGN 8-7-10.DWG SHEET 5 OF 5

APPROVED: DATE: MARCH 2009 JOB#:

