

ORDINANCE NO. 858

AN ORDINANCE OF THE CITY OF CARNATION, WASHINGTON, AMENDING CHAPTER 15.48 CMC DENSITY AND DIMENSIONAL REGULATIONS; ESTABLISHING PERMANENT DENSITY AND DIMENSIONAL STANDARDS FOR SINGLE FAMILY RESIDENTIAL DEVELOPMENT WITHIN THE R24 ZONING DISTRICT; REPEALING INTERIM ORDINANCE NO. 850; SETTING FORTH LEGISLATIVE FINDINGS; PROVIDING FOR SEVERABILITY; AND ESTABLISHING AN EFFECTIVE DATE.

WHEREAS, the City of Carnation has established zoning and land use regulations governing development activity within the City; and

WHEREAS, the City recently adopted interim Ordinance No. 850, amending the Table of Density and Dimensional Standards codified at Chapter 15.48 CMC to add density and dimensional standards for single family residential development within the R24 zoning district; and

WHEREAS, following formal review and recommendation by the Planning Board, the City Council desires to adopt the substance of the interim regulations set forth in Ordinance No. 850 as the City's permanent density and dimensional standards for residential development within the R-24 zone; NOW, THEREFORE,

THE CITY COUNCIL OF THE CITY OF CARNATION, WASHINGTON, DO
ORDAIN AS FOLLOWS:

Section 1. Findings. The City Council hereby adopts the above recitals, as findings in support of this ordinance. The City Council further adopts by reference the findings of the Planning Board dated March 11, 2015, together with the following findings:

A. The City is authorized by State law, including but not limited to Chapter 35A.11 RCW, Chapter 36.70A RCW, and Chapter 35A.63 RCW, to enact regulations governing the use and development of real property within the City's jurisdiction.

B. The Planning Board conducted a public hearing on the substance of this ordinance on February 24, 2015, and recommended adoption by the City Council. The City Council held a public hearing on this ordinance on March 17, 2015

C. The regulations set forth in this ordinance have been processed and considered by the City in material compliance with all applicable procedural requirements, including but not limited to requirements related to public notice and comment.

D. All relevant requirements of SEPA have been satisfied with respect to this ordinance.

E. The City Council has carefully considered, and the regulations set forth in this ordinance satisfy, the review criteria codified at CMC 15.100.030(E).

F. The regulations set forth in this ordinance are consistent with and will implement the City's Comprehensive Plan, and will further advance the public health, safety and welfare.

Section 2. Amendment of Table of Density and Dimensional Standards—Chapter 15.48 CMC, Table I. The Table of Density and Dimensional Standards referenced in Section 15.48.010 of the Carnation Municipal Code and codified as Table I of Chapter 15.48 CMC is hereby amended by the addition of new provisions for R-24 multifamily and single family development as set forth in Exhibit A, attached hereto and incorporated herein by this reference as if set forth in full.

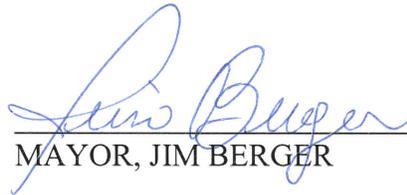
Section 3. Repealer. Ordinance No. 850 is hereby repealed in its entirety.

Section 4. Copy to Commerce. Pursuant to RCW 36.70A.106, the Planning Director is hereby authorized and directed to provide a copy of this ordinance to the Washington State Department of Commerce within 10 days of adoption.

Section 5. Severability. If any section, sentence, clause or phrase of this ordinance should be held to be invalid or unconstitutional by a court of competent jurisdiction, such invalidity or unconstitutionality shall not affect the validity or constitutionality of any other section, sentence, clause or phrase of this ordinance.

Section 6. Effective Date. This ordinance or a summary thereof consisting of the title shall be published in the official newspaper of the City, and shall take effect and be in full force five (5) days after publication.

APPROVED by the Carnation City Council this 17th day of March, 2015.


MAYOR, JIM BERGER

ATTEST/AUTHENTICATED:


CITY CLERK, MARY MADOLE

APPROVED AS TO FORM:
OFFICE OF THE CITY ATTORNEY:

BY 
J. ZACHARY LELL

FILED WITH THE CITY CLERK: 02/25/2015
PASSED BY THE CITY COUNCIL: 03/17/2015
PUBLISHED: 03/25/2015
EFFECTIVE DATE:..... 03/30/2015
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Exhibit A

Table I

Density and Dimensional Standards

Zone	Minimum Lot Size Per Building Unit		Max Residential density per net (1) acre building	Maximum Impervious Surface	Minimum Lot Width (Feet)	Maximum Floor Area Ratio (FAR)	Maximum Building Height	Building Setback Requirements. Minimum Distance, in Feet, From:			
	Standard Subdivision	Cluster Subdivision						(Street) Front Yard	Side Yard lot-line: interior	Side Yard lot-line street	Rear Yard
...											
R24 <u>Multi-family (apartments)</u>	1,800 sf	NA	24	65%	60	NA	35' or 3 stories, whichever is less ⁽⁹⁾	15 ⁽³⁾⁽⁴⁾	10	10	25
R24 <u>Single family</u>	2,500 sf	NA	12 for single family. May include townhouses but no more than 8 units per building.	65%	25	NA	25'	15; 10 with alley access in rear	Average of 5 Zero lot line allowed for townhouses ⁽¹²⁾	10; 20 where adjacent to an arterial	20 or 20% of lot, whichever is smaller
...											